

INVESTMENT

**HENRIETTA AVE
NORTH PORT FLORIDA**

BY: WAYNE TAYLOR (OWNER/GENERAL CONTRACTOR)



HENRIETTA AVE NORTH PORT FLORIDA INVESTMENT DETAILS

Owner is a General Contractor. This property is located in the desirable city of North Port, this home will offer a peaceful and family-friendly neighborhood while still being close to essential amenities and shopping. With easy access to major highways, you can explore the Gulf Coast, including nearby beaches just a few miles to the Brand New Sunseeker Resort!

This is a new construction project; we own the lot. Here are the particulars:

Looking for a loan of \$250,000 terms to be discussed.

Building Numbers:

Lot \$25,000

Build \$175,000

Permits, Carrying Costs and Misc \$25-\$50,000

Sales Price \$355,000 - \$375,000 for a fast sale. (See supporting documentation enclosed)

Rental information:

Annual \$29,400 (See supporting documentation enclosed)

Airbnb \$50,000 (See supporting documentation enclosed)

As you can see this property is a fabulous deal whether it's a build and sell or build and hold.

All plans are done in this project and is ready to go we would like to fund fast.

Several other projects coming up.

Contact Wayne Taylor (General Contractor) at 941 336 7663





Comparative Market Analysis

Henrietta AVE
NORPOR, 34291

Thursday, January 25,
2024

Minimums and Maximums

This page summarizes key fields of the listings in this analysis.

The listings in this analysis can be summarized as follows:

Listing Price between \$349,900 and \$492,000

3 to 4 Bedrooms

2.00 to 3.00 Full Bathrooms

1,464 to 2,339 Living Area Square Feet

\$198.10 to \$251.92 List Price/SqFt

Year Built between 2007 and
2024



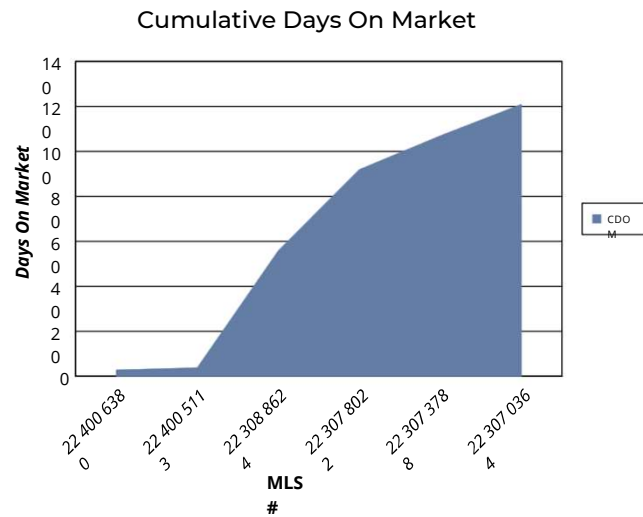
Comparative Market Analysis

Henrietta AVE
NORPOR, 34291

Thursday, January 25, 2024

Number of Cumulative Days On Market

This graph illustrates the number of cumulative days on market for the listings in this analysis.



Comparative Market Analysis

Henrietta AVE
NORPOR, 34291

Thursday, January 25, 2024

List Price and Sale Price

This graph illustrates the list price, along with sale price in Sold listings.



Comparative Market Analysis

Henrietta AVE
NORPOR, 34291

Thursday, January 25,
2024

Brief Summary of Compared Listings

This report summarizes the comparable listings contained in this market analysis.

Status: Active

MLS#	Address	Bds	F	H	Liv Ar	Tot. Ar	Pool	Garage	Price	DOM	CDOM
223073788	7983 Bristol AVE	3	2	0	1,498	2,013	N	2	\$349,900	107	107
223070364	6696 Beckwith AVE	3	2	0	1,464	1,914	N	2	\$349,900	121	121
224005113	7103 Meroni AVE	3	2	0	1,498	2,013	N	2	\$354,900	4	4
223078022	5437 Mandrake BLVD	3	2	0	1,893	2,603	N	2	\$375,000	92	92
223088624	4661 FORLANO CIR TER	3	2	0	1,826	2,538	N	2	\$460,000	56	56
22400638	5491 Haftel ST	4	3	0	2,339	2,928	N	2	\$492,000	3	3
Averages:		3	2	0	1,753	0	2		\$396,950	64	64

Summary

Status	Total	Avg Price	Avg \$ Per SqFt	Median	Low	High	Avg CDOM
Active	6	\$396,950	\$228.31	\$364,950	\$349,900	\$492,000	64
Total	6	\$396,950	\$228.31	\$364,950	\$349,900	\$492,000	64



Comparative Market Analysis

Thursday, January 25, 2024

CMA Pro Report

These pages give a general overview of the selected properties.

Active

7893 Bristol AVE



MLS #:	223073788	Status:	Active	Beds:	3	L	\$349,900
Sub:	NORTH PORT			Baths:	2/0	Price:	\$233.58
Condo:	Sarasota			Age:	2021	L \$/SF:	
County:	North Port			CDOM:	107		

Parking:

NoGulf Access:No

Waterfront:

Remarks:

Welcome to 7893 Bristol Ave, a stunning home, nestled on a private lot in the beautiful city of North Port, Florida. This immaculate property boasts a contemporary design and offers a comfortable and stylish living experience. With over 2,000 total square feet, this home has plenty of space for you and your family to enjoy. This home is practically brand new, offering modern amenities and energy-efficient features. Open-concept living spaces that flow seamlessly, perfect for entertaining. A spacious and modern kitchen with stainless steel appliances and granite countertops. Spacious bedrooms provide ample space for rest and relaxation, and the well appointed bathrooms make mornings a breeze. A well-maintained lawn with room for a pool, garden, or any outdoor project you desire. Located in the desirable city of North Port, this home offers a peaceful and family-friendly neighborhood while still being close to essential amenities and shopping. With easy access to major highways, you can explore the Gulf Coast, including nearby beaches. With its modern design, private lot, and convenient location, this property is ready to become your forever home in North Port, Florida. Call today!

6696 Beckwith AVE



MLS #:	223070364	Status:	Active	Beds:	3	L	\$349,900
Sub:	NORTH PORT			Baths:	2/0	Price:	\$239.00
Condo:	Sarasota			Age:	2021	L \$/SF:	
County:	North Port			CDOM:	121		

Parking:

NoGulf Access:No

Waterfront:

Remarks:

Rare opportunity! This beautiful home was built in 2021 with 3 bedrooms, 2 full bathrooms, and 2 car garage. Home has very nice and modern built. Meticulously maintained! Kitchen is complete with GRANITE countertops, custom cabinetry and a pantry. Tiled bathrooms/showers, moderns fixtures! Large master bedroom with walk-in closets! Conveniently located on a street with new homes around very close to I-75, shopping, dining and many local beaches. Why wait to build your dream home when you can enjoy all that Florida has to offer now.

Researched and prepared by



Comparative Market Analysis

Thursday, January 25, 2024

CMA Pro Report

These pages give a general overview of the selected properties.

Active

7003 Meroni BLVD



MLS #:	224005113	Status:	Active	Beds:	3	L	\$354,900
Sub:	NORTH PORT			Baths:	2/0	Price:	\$236.92
Condo:	Sarasota			Age:	2021	L \$/SF:	
County:	North Port			CDOM:	4		

Parking:

NoGulf Access:No

Waterfront

Looking for a practically new home without the wait and in a NO FLOOD ZONE? Look no further! This sweet 3/2/2 with a charming curb appeal, tons of fruit trees, and a spacious open floorplan may be the right fit for you. Although just built in 2021, the owner added a few finishing touches to the property such as rain gutters around the entire home and an inviting front paver patio to enjoy the sunrises with your morning cup of coffee. Inside the home features laminate grey plank flooring in the main areas, recessed lighting, ceiling fans and a split bedroom layout. The gourmet kitchen has all stainless-steel appliances, granite countertops, shaker cabinets, and opens to both living and dining areas. The kitchen offers plenty of cabinets, counter space, and a bar for additional seating. Enjoy avocados, citrus trees, and more right from your backyard! Additionally, this home has an irrigation system and all windows come with hurricane shutters. Set less than 15 minutes from Wellen Park and the Braves Stadium, and within 5 minutes of the North Port Aquatic Center along with major chain stores and amenities, this home is set in one of the most desirable locations in the area!

Directions:

From Biscayne Dr heading North take a Right onto Ponce De Leon, then make a Left onto Meroni Blvd. Home will be to your Left.

5437 Mandrake TER



MLS #:	223078022	Status:	Active	Beds:	3L	Price:	\$375,000	NORTH PORT	Baths:	2/0L
Sub:	\$/SF:\$198.10	Sarasota	Age:	2007						
Condo:	North Port	CDOM:	92							
County:	Driveway Paved									

City:

NoGulf Access:No

Parking:

Looking for a great family home with space and class, look no further.

Waterfront

Located in a quiet neighborhood right of Hwy 75, 10 minutes to all North Port has to offer. Close proximity to Port Charlotte, Natural Springs and Venice

Remarks:

Beach. This 3 bed, den and family room has a brand new huge modern kitchen, new bathrooms, flooring and freshly painted. Surrounded by nature all around with lots of privacy. Set up a showing today!

Researched and prepared by



Comparative Market Analysis

Thursday, January 25, 2024

CMA Pro Report

These pages give a general overview of the selected properties.

Active

466 FORLANO CIR



MLS #: 223088624 Status: Active Beds: 3L Price: \$460,000 PORT CHARLOTTE Baths: 2/0L
 Sub: \$/SF: \$251.92 Sarasota Age: 2024
 Condo: North Port CDOM: 56
 County: Driveway Paved
 City: No Gulf Access: No

Parking: Exclusive Home Under Construction Introducing an opportunity to acquire a spacious new build in the scenic North Port! This home, boasting three bedrooms including a magnificent master suite, two modern bathrooms, a two-car garage, with a separate laundry room and an attractive patio at the rear, awaits you to bring all your home dreams to life. Impact window's and doors throughout. Conveniently located in a neighborhood with top-rated schools and shops within walking distance, this home promises a comfortable and fulfilling life for the whole family. And for those who love relaxation and wellness, hot springs are just a 15-minute drive away, offering a perfect retreat to unwind and rejuvenate. Don't miss the chance to become part of this wonderful community. Completion early 2024. There is room for a pool and can be added at an additional cost.

Waterfront:
 t:
 Remarks:

5491 Haftel ST



MLS #: 224006380 Status: Active Beds: 4 L Price: \$492,000
 Sub: NORTH PORT Baths: 3/0 Price: \$210.35
 Condo: Sarasota Age: 2022 L \$/SF:
 County: North Port CDOM: 3
 City: No Gulf Access: No

Parking: Private and new, this 2022 Coastal Contemporary Single-Family Home is conveniently located to Sarasota and Fort Myers with easy access to the Interstate. Corner Lot. Light, bright and airy, 5491's open floor plan has an oversized great room and kitchen. Perfect for a new or growing family, with four bedrooms and three baths. Master ensuite is spacious. Existing Builder's Warranty will convey to Buyer. Casa familiar construida en 2022 con un estilo contemporáneo costero, esta convenientemente ubicada cerca de Sarasota y Fort Myers con fácil acceso a la I 75. Situada en un amplio lote en la esquina. Hermosa casa luminosa, espaciosa y aireada. 5491 cuenta con una sala y una cocina de gran tamaño. Perfecta para convertirla en el hogar de una nueva familia o una familia en crecimiento...Cuenta con 4 dormitorios, un den y 3 baños completos. El dormitorio principal con baño propio es espacioso. La garantía existente del constructor se transferirá al comprador.

Directions: Exit on Sumter off of I-75. Turn left on Tropicare then right on Reisterstown. Veer left on Hennessey and turn right on Gadboys to Haftel. Property is on the corner of Gadboys and Haftel.



Comparative Market Analysis

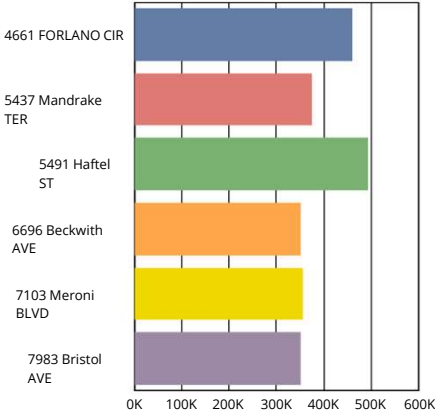
Thursday, January 25, 2024

CMA Pro Report

These pages give a general overview of the selected properties.

Active Properties

Total # of Listings	6
Lowest Price	\$349,900
Highest Price	\$492,000
Average Price	\$396,950
Avg. Price/SqFt	\$228.31
Avg CDOM	64



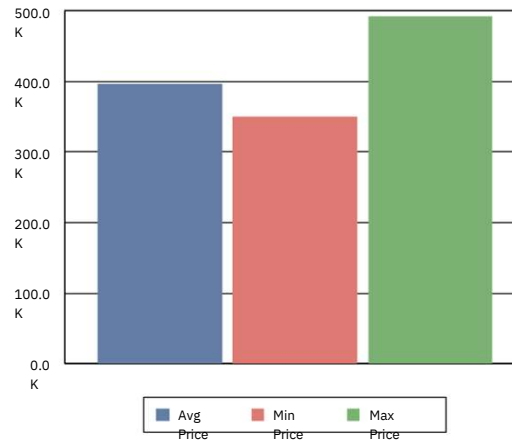
Comparative Market Analysis

Thursday, January 25, 2024

CMA Pro Report

These pages give a general overview of the selected properties.

Summary Graph/Analysis



Cumulative Analysis

Listing Category	Lowest Price	Highest Price	Average Price	Avg \$ Per SF
Active	\$349,900	\$492,000	\$396,950	\$228.31
Totals / Averages	\$349,900	\$492,000	\$396,950	\$228.31

Sold Property Analysis

Address	List Price	CDOM %SP/LP	SP/Sqft
--			
Total Averages			

Property Summary

S	Street Address	Bds	Bth	Sqft	L Price	Sold Date
Active						
A	7983 Bristol AVE	3	2/0	2,013	\$349,900	107
A	6696 Beckwith	3	2/0	1,914	\$349,900	121
A	AVE	3	2/0	2,013	\$354,900	4
A	7103 Meroni BLVD	3	2/0	2,603	\$375,000	92
	5437 Mandrake					
	760					

Researched and prepared by



Comparative Market Analysis

Thursday, January 25,
2024

CMA Pro Report

These pages give a general overview of the selected properties.

	SStreet AddressBdsBthSqft	L Price	Sold Date	CDOM
A 4661 FORLANO CIR32/02,538		\$460,00		56
A 5491 Haftel ST43/02,928		0		3
		\$492,000		

Researched and prepared by






Comparative Market Analysis

Henrietta AVE
NORPOR, 34291

Thursday, January 25,
2024

CMA 3-Up Comparison w/ Subject

This page outlines the subject property versus comparables in a 3-column format.

			
MLS #		224006380	224005113
Property Type		Residential	Residential
Status		Active	Active
Street Address	Henrietta AVE	5491 Haftel ST	7103 Meroni BLVD
Listing Price	\$0.0	\$492,000	\$354,900
Price per SqFt		\$210.35	\$236.92
Sold Price	0		
Sold Date			
City	NORPOR	North Port	North Port
ZIP	34291	34291	34291
Sub Condo Nm		NORTH PORT	NORTH PORT
Development		NORTH PORT	NORTH PORT
Region		OA01 - Out of Area	OA01 - Out of Area
DOM/CDOM		3	4
Baths (F/H)		3 / 0	2 / 0
Beds		4	3
Bldg Design		Single Family	Single Family
Bldg Desc		Traditional	1 Story/Ranch
View		Landscaped Area	None/Other
Furnished		Unfurnished	Unfurnished
Rear Exposure		W	SW
Garage Spaces		2	2
Carport Spaces		0	0
Acres	0.23	0.280	0.230
Gulf Access	0	No	No
Storm Protect		None	Shutters
Unit Floor			
Construction		Concrete Block	Concrete Block
Year Built		2022	2021
Appx Liv Area		2,339	1,498
Total Liv Area	1000	2,928	2,013
Remarks		Private and new, this 2022 Coastal Contemporary Single-Family Home is conveniently located to Sarasota and Fort Myers with easy access to the Interstate. Corner Lot. Light, bright and airy, 5491's open floor plan has an oversized great room and kitchen. Perfect for a new or	Looking for a practically new home without the wait and in a NO FLOOD ZONE? Look no further! This sweet 3/2/2 with a charming curb appeal, tons of fruit trees, and a spacious open floorplan may be the right fit for you. Although just built in 2021, the owner added a few finishing


Comparative Market Analysis

Henrietta AVE
NORPOR, 34291

Thursday, January 25,
2024

CMA 3-Up Comparison w/ Subject

This page outlines the subject property versus comparables in a 3-column format.

			
MLS #		223088624	223078022
Property Type		Residential	Residential
Status		Active	Active
Street Address	Henrietta AVE	4661 FORLANO CIR	5437 Mandrake TER
Listing Price	\$0.0	\$460,000	\$375,000
Price per SqFt		\$251.92	\$198.10
Sold Price	0		
Sold Date			
City	NORPOR	North Port	North Port
ZIP	34291	34291	34291
Sub Condo Nm		PORT CHARLOTTE	NORTH PORT
Development		PORT CHARLOTTE	NORTH PORT
Region		OA01 - Out of Area	OA01 - Out of Area
DOM/CDOM		56	92
Baths (F/H)		2 / 0	2 / 0
Beds		3	3
Bldg Design		Single Family	Single Family
Bldg Desc		1 Story/Ranch	1 Story/Ranch,
View		None/Other	Traditional
Furnished		Unfurnished	Landscaped Area
Rear Exposure		W	Unfurnished
Garage Spaces		2	W
Carpport Spaces		0	2
Acres	0.23	0.058	0
Gulf Access	0	No	0.230
Storm Protect		Impact Resistant Doors, Impact Resi	No
Unit Floor			Shutters - Electric
Construction		Concrete Block	Concrete Block
Year Built		2024	2007
Appx Liv Area		1,826	1,893
Total Liv Area	1000	2,538	2,603
Remarks		Exclusive Home Under Construction Introducing an opportunity to acquire a spacious new build in the scenic North Port! This home, boasting three bedrooms including a magnificent master suite, two modern bathrooms, a two-car garage, with a separate laundry	Looking for a great family home with space and class, look no further. Located in a quiet neighborhood right of Hwy 75, 10 minutes to all North Port has to offer. Close proximity to Port Charlotte, Natural Springs and Venice Beach. This 3 bed, den and family room has a

Researched and prepared by **Darla Mini**
Keller Williams Elite Realty 2






Comparative Market Analysis

Henrietta AVE
NORPOR, 34291

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2024

CMA 3-Up Comparison w/ Subject

This page outlines the subject property versus comparables in a 3-column format.

			
MLS #		223073788	223070364
Property Type		Residential	Residential
Status		Active	Active
Street Address	Henrietta AVE	7983 Bristol AVE	6696 Beckwith AVE
Listing Price	\$0.0	\$349,900	\$349,900
Price per SqFt		\$233.58	\$239.00
Sold Price	0		
Sold Date			
City	NORPOR	North Port	North Port
ZIP	34291	34291	34291
Sub Condo Nm		NORTH PORT	NORTH PORT
Development		NORTH PORT	NORTH PORT
Region		OA01 - Out of Area	OA01 - Out of Area
DOM/CDOM		107	121
Baths (F/H)		2 / 0	2 / 0
Beds		3	3
Bldg Design		Single Family	Single Family
Bldg Desc		1 Story/Ranch	1 Story/Ranch
View		Wooded Area	Wooded Area
Furnished		Unfurnished	Unfurnished
Rear Exposure		S	W
Garage Spaces		2	2
Carport Spaces		0	0
Acres	0,23	0,240	0,250
Gulf Access	0	No	No
Storm Protect		None	None
Unit Floor			
Construction		Concrete Block	Concrete Block
Year Built		2021	2021
Appx Liv Area		1,498	1,464
Total Liv Area	1000	2,013	1,914
	0		
Remarks		Welcome to 7893 Bristol Ave, a stunning home, nestled on a private lot in the beautiful city of North Port, Florida. This immaculate property boasts a contemporary design and offers a comfortable and stylish living experience. With over 2,000 total square feet, this home has	Rare opportunity! This beautiful home was built in 2021 with 3 bedrooms, 2 full bathrooms, and 2 car garage. Home has very nice and modern built. Meticulously maintained! Kitchen is complete with GRANITE countertops, custom cabinetry and a pantry. Tiled

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Comparative Market Analysis

Henrietta AVE
NORPOR, 34291

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Pricing Recommendation

This page suggests a recommended listing price based on a thorough analysis of your property.

After analyzing your property, comparable properties on the market now, recent sales and comparable properties that failed to sell, I conclude that in the current market, your property is most likely to sell for .



Comparative Market Analysis

Henrietta AVE
NORPOR, 34291

Thursday, January 25,
2024

Summary of Comparable Listings

This page summarizes the comparable listings contained in this market analysis.

Active Listings

Address	Price	Bds	FBH	Liv	Area	Curr Price	Tot Area	Yr Built	CDO	DO
Henrietta AVE										
7983 Bristol AVE	\$349,90	3	2	0	1,49	\$349,90	3,000	202	10	10
6696 Beckwith AVE	0	3	2	0	8	0	3	1	7	7
7103 Meroni BLVD	\$349,90	3	2	0	1,46	\$349,90	1,91	202	12	12
5437 Mandrake TER	0	3	2	0	4	0	4	1	14	14
4661 FORLANO CIR	\$354,90	3	2	0	1,49	\$354,90	2,01	202	92	92
5491 Hafel ST	0	4	3	0	8	0	3	1	56	56
Averages:	\$396,950	3.2	2	0	1,95	\$396,95	2,53	200	63	63
	0				0	0	3	7	4	4
Status	\$460,00		Low		1,82	\$460,00	2,53	202		
	0				6	0	8	4		Count
A	Adjusted Price				2,33	\$364,95	\$492,00	\$396,95	\$492,00	6
		0			9	0	0	8	02	



Comparative Market Analysis

Henrietta AVE
NORPOR, 34291

Thursday, January 25,
2024

CMA Price Adjustments

This page outlines the subject property versus comparables

properties.



Subject Property	Details	Adjust	Details	Adjust
Henrietta	7983 Bristol		6696 Beckwith	
MIS#	AVE 223073788		AVE 223070364	
Status	Active		Active	
List Price	\$349,900		\$349,900	
Sold Price				
Sold Date				
Price/SqFt	\$0.00	\$233.58	\$239.00	
City	NORPOR	North Port	North Port	
Zip	34291	34291	34291	
Sub Condo	NORTH PORT		ONORTH PORT	0
Development	NORTH PORT		ONORTH PORT	0
Cmnty Type	Non-Gated		ONon-Gated	0
DOM/CDOM	107/107		121/121	
Baths	2/0		0/0 2/0	0/
Beds	3		03	0
Bldg Design	Single Family		0Single Family	0
Bldg Desc	1 Story/Ranch		01 Story/Ranch	0
View	Wooded Area		0Wooded Area	0
Furnished	Unfurnished		0Unfurnished	0
Rear Expose	S		0W	0
Garage Spc	2		02	0
Carport Spc	0		00	0
Acres	0.23	0.240	00.250	0
Gulf Access	0	No	0No	0
Storm Prot	None		0None	0
Unit Floor			0	0
Construction	Concrete Block		0Concrete Block	0
Year Built	2021		02021	0
Appx Liv Ar	1,498		01,464	0

Remarks:

Welcome to 7893 Bristol Ave, a stunning home, nestled on a private lot in the beautiful city of North Port, Florida. This immaculate property boasts a contemporary design and offers a comfortable and stylish living experience. With over 2,000 total square feet, this home has plenty of space for you

Rare opportunity! This beautiful home was built in 2021 with 3 bedrooms, 2 full bathrooms, and 2 car garage. Home has very nice and modern built. Meticulously maintained! Kitchen is complete with GRANITE countertops, custom cabinetry and a pantry. Tiled bathrooms/showers, moderns fixtures!

Price	\$349,90	\$349,900
Total Adjustments	0 \$0	\$0
Adjusted Price	\$349,90	\$349,900

Researched and prepared by **Darla Mini**
Keller Williams Elite Realty 2

Comparative Market Analysis

Henrietta AVE
NORPOR, 34291

Thursday, January 25,
2024

CMA Price Adjustments

This page outlines the subject property versus comparables



Subject Property	Details	Adjust	Details	Adjust
Henrietta	7103 Meroni BLVD		5437 Mandrake TER	
MIS#	224005113		223078022	
Status	Active		Active	
List Price	\$354,900		\$375,000	
Sold Price				
Sold Date				
Price/SqFt	\$0.00	\$236.92	\$198.10	
City	NORPOR	North Port	North Port	
Zip	34291	34291	34291	
Sub Condo		NORTH PORT	0NORTH PORT	0
Development		NORTH PORT	0NORTH PORT	0
Cmnty Type		No Subdivision	0Non-Gated	0
DOM/CDOM		4/4	92/92	
Baths		2/0	0/0 2/0	0/
Beds		3	03	0
Bldg Design		Single Family	0Single Family	0
Bldg Desc		1 Story/Ranch	01 Story/Ranch, Traditional	0
View		None/Other	0Landscaped Area	0
Furnished		Unfurnished	0Unfurnished	0
Rear Expose		SW	0W	0
Garage Spc		2	02	0
Carport Spc		0	00	0
Acres	0.23	0.230	00.230	0
Gulf Access	0	No	0No	0
Storm Prot		Shutters	0Shutters - Electric	0
Unit Floor			0	0
Construction		Concrete Block	0Concrete Block	0
Year Built		2021	02007	0
Appx Liv Ar		1,498	01,893	0

Remarks:

Looking for a practically new home without the wait and in a NO FLOOD ZONE? Look no further! This sweet 3/2/2 with a charming curb appeal, tons of fruit trees, and a spacious open floorplan may be the right fit for you. Although just built in 2021, the owner added a few finishing touches to the

Looking for a great family home with space and class, look no further. Located in a quiet neighborhood right of Hwy 75, 10 minutes to all North Port has to offer. Close proximity to Port Charlotte, Natural Springs and Venice Beach. This 3 bed, den and family room has a brand new huge modern kitchen, new

Price	\$354,90	\$375,000
Total Adjustments	0 \$0	\$0
Adjusted Price	\$354,90	\$375,000

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Keller Williams Elite Realty 2

Comparative Market Analysis

Henrietta AVE
NORPOR, 34291

Thursday, January 25,
2024

CMA Price Adjustments

This page outlines the subject property versus comparables

properties.



Subject Property	Details	Adjust	Details	Adjust
Henrietta	4661 FORLANO CIR		5491 Haftel	
MIS#	223088624		ST	
Status	Active		224006380	
List Price	\$460,000		Active	
Sold Price			\$492,000	
Sold Date				
Price/SqFt	\$0.00	\$251.92	\$210.35	
City	NORPOR	North Port	North Port	
Zip	34291	34291	34291	
Sub Condo	PORT CHARLOTTE		ONORTH PORT	0
Development	PORT CHARLOTTE Non-		ONORTH PORT	0
Cmnty Type	Gated		ONon-Gated	0
DOM/CDOM	56/56		3/3	
Baths	2/0		0/0 3/0	0/
Beds	3		04	0
Bldg Design	Single Family		OSingle Family	0
Bldg Desc	1 Story/Ranch		OTraditional	0
View	None/Other		OLandscaped Area	0
Furnished	Unfurnished		0Unfurnished	0
Rear Expose	W		0W	0
Garage Spc	2		02	0
Carport Spc	0		00	0
Acres	0.23	0.058	00.280	0
Gulf Access	0	No	0No	0
Storm Prot		Impact Resistant Doors,	0None	0
Unit Floor		Imp	0	0
Construction		Concrete Block	0Concrete Block	0
Year Built	2024		02022	0
Appx Liv Ar	1,826		02,339	0
Remarks:				0

Exclusive Home Under Construction
Introducing an opportunity to acquire a spacious new build in the scenic North Port! This home, boasting three bedrooms including a magnificent master suite, two modern bathrooms, a two-car garage, with a separate laundry room and an attractive patio

Private and new, this 2022 Coastal Contemporary Single-Family Home is conveniently located to Sarasota and Fort Myers with easy access to the Interstate. Corner Lot. Light, bright and airy, 5491's open floor plan has an oversized great room and kitchen. Perfect for a new or growing family,

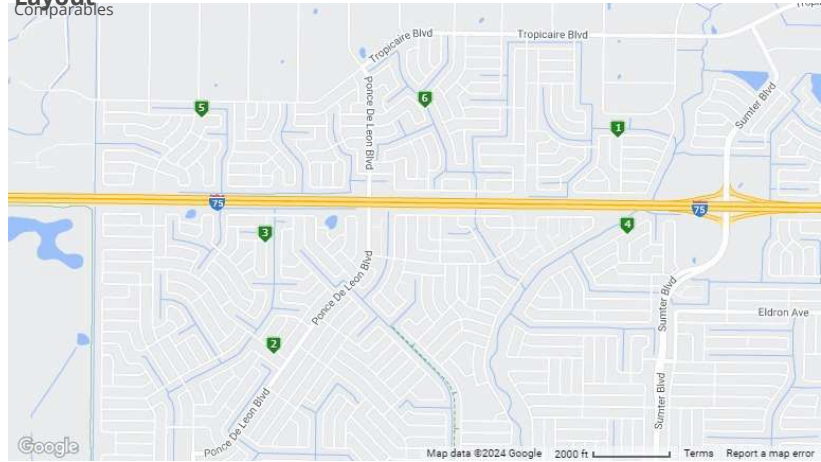
Price	\$460,00	\$492,000
Total Adjustments	0 \$0	\$0
Adjusted Price	\$460,00	\$492,000

Researched and prepared by Darla Mini
Keller Williams Elite Realty 2

Darla Mini
 Keller Williams Elite Realty
 dmini@kw.com
 Ph: 239-300-5735
 Where it's paradise everyday!

Subject Property: Henrietta AVE, NORPOR January 25, 2024

CMA Map
 Map for the CMA Subject with
 Comparables



Henrietta AVE , NORPOR, 34291

	Address	Price	Date	Beds	Baths	Sq.Ft.
1	5491 Haftel ST	\$492,000	1/19/24	4	3	2,339
2	7103 Meroni BLVD	0	1/12/24	3	2	1,498
3	4661 FORLANO CIR	\$354,900	11/30/23	3	2	1,826
4	5437 Mandrake TER	0	3	3	2	1,893
5	7983 Bristol AVE	\$460,000	10/25/23	3	2	1,498
6	6696 Beckwith AVE	0	3	3	2	1,464
		\$375,000	10/7/23			
		0	9/26/23			
		\$349,900				
		0				
		\$349,900				
		0				

Darla Mini
 Keller Williams Elite Realty
 dmini@kw.com
 Ph: 239-300-5735
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Listings as of 02/24/2024 10:26 am

Comparative Market Analysis

Property Type: Residential
 Rental

Status is 'Active' Postal Code is '34291'

Residential

Rental Properties

RNTListing #	Address	Cit	Developmen	Are	Beds	Bths	Ttl Sqft	Yr Blt	\$/SqFt	# Oc	Orig Price	List Price	Dat	DOM	CDOM
1	22309393 6279 Lenape LN	North	NORTH PORT	OA01	3	2/	1,264	202	\$1.4		\$1,90	\$1,85	12/20/2	66	66
2	9 8159 Hedgecoth	Port	NORTH PORT	OA01	3	0	1,353	1	6		0	0	3	10	10
3	22308502 AVE 6255 Balboa	North	NORTH PORT	OA01	3	2/	1,353	202	\$1.5		\$2,10	\$2,05	11/15/2	1	1
4	3 TER 3343 La Goy ST	Port	NORTH PORT	OA01	3	0	1,516	3	2		0	0	3	31	31
5	22400803 5155 Wildgoose DR	North	NORTH PORT	OA01	3	2/	1,704	202	\$1.5		\$2,10	\$2,10	01/24/2	13	13
6		Port					0	3	5		0	0	4	8	8
Active Total:						2/	200		\$1.6		\$2,79	\$2,44	10/09/2	14	14
Listing Count:							302		\$1.52		\$2,10	\$2,10	3	19	19
	22307081	North				2/	1,264	201	\$1.45		\$2,59	\$2,47	09/28/2	1	1
	5	Port				:	1,704	200	\$1.61		\$1,90	\$1,85	3	31	31
						Maximums	1,438	5	\$1.5		0	0		14	14
						: Averages:	202	3	\$2.47		\$2,79	\$2,47	\$2,10	9	9
						Price:	201	3	\$2.47		\$2,79	\$2,18	0	97	97

Quick Statistics 5 Listings					
	Media	Total	Mi	Ma	Averag
List Price	\$2,100		\$1,850	\$2,470	\$2,183
Sold Price					

Presented By: Darla Mini

Featured properties may not be listed by the office/agent presenting the brochure.

All information herein has not been verified and is not guaranteed.

**FOR FAST
SALE**

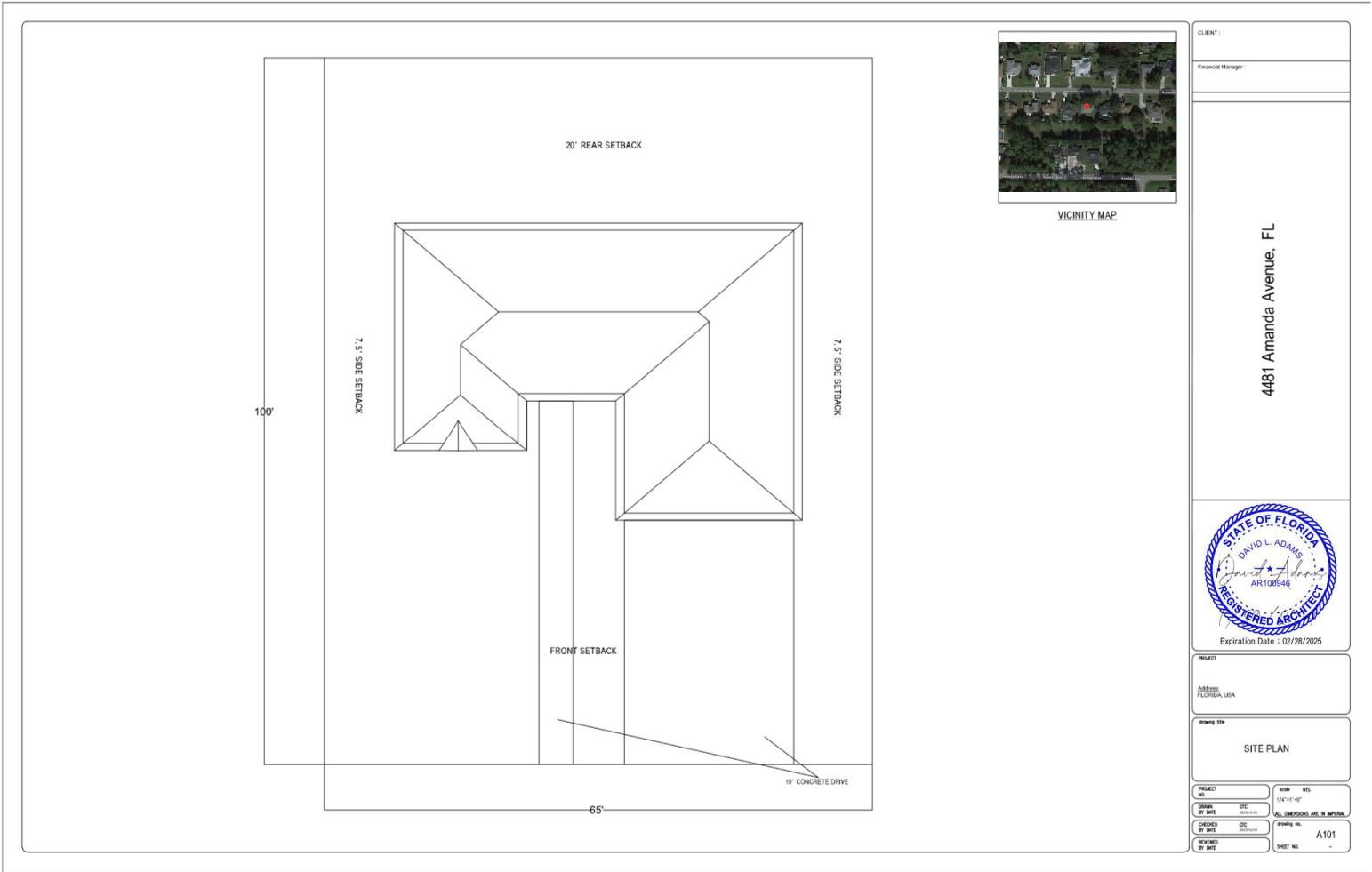
**INVESTMENT
HENRIETTA AVE PORT
FLORIDA**

BY: WAYNE TAYLOR (OWNER/GENERAL CONTRACTOR)



Amanda Ave

4461 Amanda Ave, FL



VICINITY MAP

CLIENT:
Financial Manager:

4481 Amanda Avenue, FL

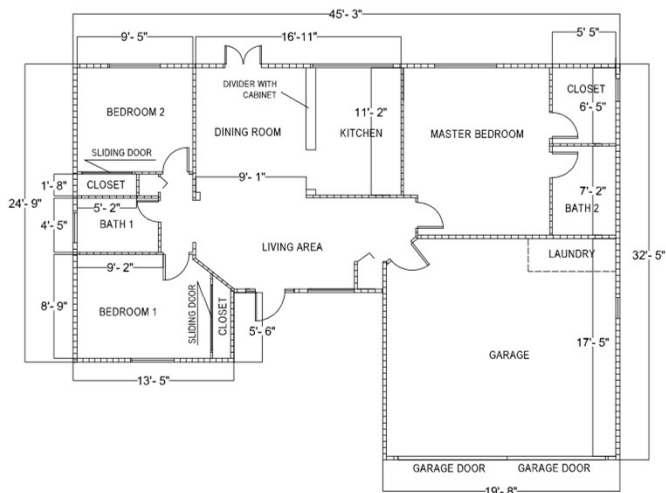


PROJECT:
ADDRESS:
FLORIDA, USA

Showing Site
SITE PLAN

PROJECT NO.	DATE	SCALE	DATE
DESIGNED BY DATE	DATE	DATE	DATE
CHECKED BY DATE	DATE	DATE	DATE
APPROVED BY DATE	DATE	DATE	DATE

SHEET NO. A101

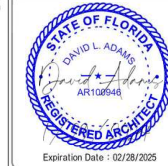


FLOOR PLAN NOTES:

1. ALL STRUCTURAL INFORMATION SHOWN FOR REFERENCE PURPOSES CONTRACTOR SHALL HAVE LICENSED STRUCTURAL ENGINEER REVIEW AND DESIGN ALL STRUCTURAL ELEMENTS SUCH AS ALL FRAMING WALLS, BEAMS, CONNECTION, HEADERS, JOIST AND RAFTERS.
2. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUDS UNLESS NOTED OTHERWISE.
3. WINDOW SIZES INDICATED ON PLANS ARE NOTED BY APPROXIMATE ROUGH OPENING SIZE. REFER TO PLANS AND EXTERIOR ELEVATIONS FOR WINDOW TYPES.
4. COORDINATE LOCATION OF UTILITY METERS WITH SITE PLAN AND LOCATE AWAY FROM PUBLIC VIEW. VISUAL IMPACT SHALL BE MINIMIZED, I.E. MOUNT AS LOW AS POSSIBLE.
5. CONTRACTOR SHALL COORDINATE ALL CLOSET SHELVING REQUIREMENTS.
6. DO NOT SCALE DRAWINGS. FOLLOW DIMENSIONS ONLY.
7. CONTRACTOR SHALL FIELD VERIFY ALL CABINET DIMENSIONS BEFORE FABRICATION.
8. BEDROOM WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. A MINIMUM NET CLEAR OPENABLE WIDTH OF 20". A MINIMUM NET CLEAR OPENABLE HEIGHT OF 24" AND HAVE A MAXIMUM FINISH SILL HEIGHT OF 43" FROM FINISH FLOOR.
9. ALL GLASS LOCATED WITHIN 18" OF FLOOR, 12" OF A DOOR OR LOCATED WITHIN 40" OF FLOOR AT BATHTUBS, WHIRLPOOLS, SHOWERS, SAUNAS, STEAM ROOMS OR HOT TUBS SHALL BE TEMPERED.
10. ALL EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.
11. PROVIDE COMBUSTION AIR VENTS. WITH SCREEN AND BACK DAMPER. FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCE WITH AN OPEN FLAME.
12. BATHROOMS AND UTILITY ROOMS SHALL BE VENTED TO THE OUTSIDE WITH A MINIMUM OF A 90 CFM FAN. RANGE HOODS SHALL ALSO BE VENTED TO OUTSIDE.
13. ATTIC HVAC UNITS SHALL BE LOCATED WITHIN 20 OF ITS SERVICE OPENING. RETURN AIR GRILLES SHALL NOT BE LOCATED WITHIN 10 FEET OF A GAS FIRED APPLIANCE.
14. ALL WALLS AND CEILINGS IN GARAGE AND GARAGE STORAGE AREAS TO HAVE 5/8" TYPE-X GYP. BOARD W/ 1-HOUR FIRE RATING. ALL EXT. DOORS IN GARAGE TO BE METAL OR SOLID CORE DOORS INCLUDING DOORS ENTERING HEAT/COOLED PORTION OF RESIDENCE.
15. ALL FIREPLACE CHASE WALLS SHALL BE INSULATED INSIDE AND OUTSIDE. PROVIDE HORIZONTAL "DRAFT STOPS AT EACH FLOOR LEVEL BY PACKING 6" IR-199 INSULATION BETWEEN 2x4 JOISTS.
16. ALL INTERIOR WALLS SHALL BE COVERED WITH 1/2" GYPSUM BOARD. WITH METAL CORNER REINFORCING. TAPE FLOAT AND SAND. (3 COATS) USE 5/8" GYPSUM BOARD ON CEILING WHEN SUPPORTING MEMBERS ARE 24" O. C. OR GREATER USE 1/2" GYP. BOARD ON CEILING MEMBERS LESS THAN 24" O. C.
17. ALL BATH AND TOILET AREA WALLS AND CEILINGS SHALL HAVE WATER RESISTANT GYPSUM BOARD.

CLIENT:
Financial Manager:

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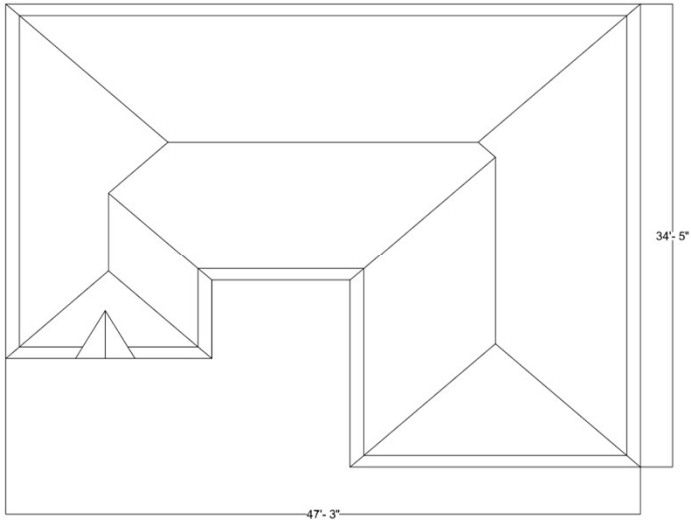


PROJECT:
ADDRESS:
FLORIDA, USA

Showing title:
FLOOR PLAN

PROJECT NO.	SCALE	DATE
DATE BY DWG	DATE	DATE
CHECKED BY DWG	DATE	DATE
REVIEWED BY DWG	DATE	DATE

1/2" = 1' - 0"
 ALL DIMENSIONS ARE IN METERS
 SHEET NO. A103



GENERAL NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THAT FURNISHED BY SUBCONTRACTORS.
2. DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. DO NOT SCALE DRAWINGS TO DETERMINE ANY LOCATION. THE OWNER OR DESIGNER SHALL BE NOTIFIED IF ANY DISCREPANCY OCCURS PRIOR TO CONTINUING WITH WORK.
3. ALL PLAN DIMENSIONS RE FROM CENTER LINE OF STUD OR FACE OF FINISH UNLESS OTHERWISE INDICATED.
4. ANY CHANGES PRIOR TO APPROVED SET OF PLANS, JAY SOLUTIONS MUST BE NOTIFIED. CONTRACTOR OR PERSON CONDUCTING WORK SHOULD NOTIFY JAY SOLUTIONS IF ANY DISCREPANCY OCCURS DURING CONSTRUCTION. JAY SOLUTIONS IS NOT RESPONSIBLE FOR CONTRACTOR OR HOME BUILDER PERFORMANCE TO PERFORM WORK.
5. ALL CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE BUILDING CODES AND LOCAL RESTRICTIONS.
6. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING MECHANICAL AND ELECTRICAL SERVICES AND DISTRIBUTION SYSTEMS WETHER SHOWN OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OR REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE PERFORMANCE OF WORK.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OR REMEDY OF ANY FACILITY, IMPROPER OR INTERIOR MATERIALS OR WORKMANSHIP WHICH SHALL APPEAR WITHIN (1) YEAR OR AS OTHERWISE SPECIFIED FOR A SPECIFIC COMPONENT AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT.
8. CONTRACTOR IS TO CLEAN WORK AREAS ON A DAILY BASIS SO AS NOT TO ACCUMULATE DEBRIS.
9. UPON PROJECT COMPLETION CONTRACTOR IS TO CLEAN WORK AREAS AND JOB SITE THOROUGHLY SO AS TO REMOVE ALL CONSTRUCTION DUST, RESIDUE, AND DEBRIS. DO NOT OBSTRUCT STREETS, SIDEWALKS, ALLEYS OR OTHER RIGHT -OF- WAY WITHOUT FIRST OBTAINING PROPER PERMITS.
10. ALL WORK SHALL BE ACCOMPLISHED WITH QUALITY WORKMANSHIP OF THE HIGHEST INDUSTRY STANDARDS. ALL MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS AND RECCOMENDATIONS. MATERIALS AND METHODS SHALL CONFORM TO THE APPROPRIATE NATIONAL TRADE BOOK: I. E. TILE COUNCIL OF AMERICA HANDBOOK FOR CERAMIC TILE INSTALLATION, ARCHITECTURAL WOODWORK INSTITUTE, "QUALITY STANDARDS" ETC.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR JOB SAFETY, AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE SAFETY OF WORKS AND OCCUPANTS AT ALL TIMES.
12. ALL CONSTRUCTION SHALL BE PERFORMED DURING THE HOURS OF 7:00 AM AND 6:00 PM, MONDAY THROUGH SATURDAY. NO WORK IS TO OCCUR ON SUNDAYS OR HOLIDAYS.
13. THE CONTRACTOR SHALL FURNISH AND INSTALL LL MINOR ITEMS WHICH ARE OBVIOUSLY AND REASONABLY NECESSARY TO COMPLETE ANY INSTALLATION.
14. MINIMUM FLAME SPREAD CLASSIFICATION OF INTERIOR FINISH SHALL CONFORM TO THE BUILDING CODE AND LOCAL GOVERNING BUILDING CODES/ORDINANCES.
15. PROJECT SHALL CONFORM TO THE:
2019 FLORIDA RESIDENTIAL CODE
2019 FLORIDA ELECTRICAL CODE
2019 FLORIDA PLUMBING CODE
2019 FLORIDA MECHANICAL CODE
2019 FLORIDA ENERGY CODE
AND ALL CITY AND COUNTY LAWS AND ORDINANCES.
16. ADDITIONAL MECHANICAL, ELECTRICAL AND PLUMBING PERMITS SHALL BE OBTAINED AS REQUIRED

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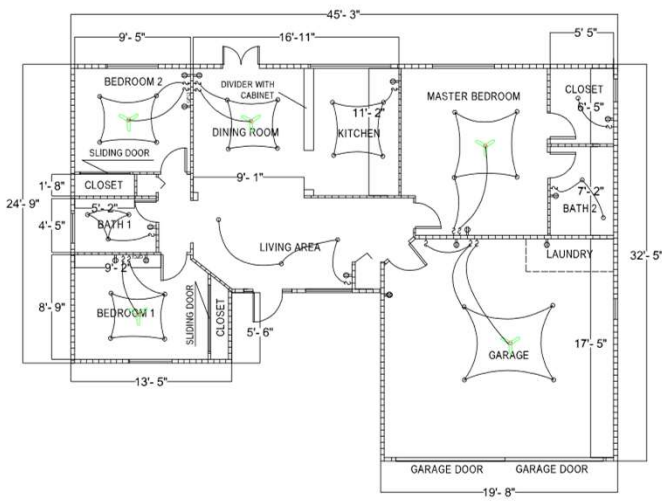


Expiration Date : 02/28/2025

PROJECT:
ADDRESS:
FLORIDA, USA

Issued for:
ROOF PLAN

PROJECT NO.	Scale	1/4"=1'-0"
DATE BY DATE	DATE	ALL DIMENSIONS ARE IN METERS
CHECKED BY DATE	DATE	SHEET NO. A104
REVISED BY DATE	DATE	SHEET NO. -



ELECTRICAL LEGEND

- ⊕ 110V DUPLEX RECEPTACLE 12" AFF
- ⊕ GROUND FAULT CIRCUIT INTERRUPT
- ⊕ 110V DUPLEX RECEPTACLE WATERPROOF
- ⊕ SINGLE POLE SWITCH w/ DIMMER DUPLEX RECEPTACLE 12" AFF
- ⊕ THREE WAY SINGLE POLE SWITCH
- ⊕ FOUR WAY SINGLE POLE SWITCH
- ⊕ SINGLE POLE SWITCH
- READING LIGHT IN CEILING
- ⊕ CEILING FAN w/LIGHTING

EXISTING OUTLETS TO REMAIN WHERE POSSIBLE.
 OUTLETS, TYPICAL, UNLESS OTHERWISE NOTED, HEIGHT OF
 OUTLETS AND SWITCHES WILL BE AS FOLLOWS:
 OUTLETS: CENTER 12" A. F. F. - COORDINATE WITH BASEBOARD
 HEIGHT AS NECESSARY.
 SWITCHES: CENTER 48" A. F. F.
 BATHROOM EXHAUST FANS: ENERGY STAR RATED AND DUCTED TO
 TERMINATE OUTSIDE.

GENERAL NOTE

1. ARC FAULT (AFCI) REQUIRED IN FAMILY RMS, DINING RMS, PARLORS, LIBRARIES, DENIS, BEDROOMS, SUN ROOMS, REC RMS, CLOSETS, AND HALLWAYS AND LIGHTING. GROUND FAULT IS REQUIRED IN BATH RMS, GARAGES, ACCESSORY AREAS, EXTERIOR, CRAWLSPACES, BASEMENTS, DISHWASHERS AND DIPOALS. NOTE TO SHOW COMPLIANCE WITH ARC-FAULT AND GROUND FAULT OUTLETS PER ART 210.12 AND 210.8 DEC 2019
2. ELECTRICAL OUTLETS IN SPACES SUCH AS BATHROOMS, LAUNDRY ROOMS, POWDER ROOMS, CRAWL SPACES, UNFINISHED BASEMENT, GARAGE AND OURSIDE ARE REQUIRED TO HAVE GFCI PROTECTION

ELECTRICAL NOTES:

1. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR A COMPLETE INSTALLATION TO CODE, INCLUDING ANY MATERIAL NOT INCLUDED ON DRAWINGS NECESSARY FOR CODE COMPLIANCE.
2. ELECTRICAL CONTRACTOR TO COORDINATE DRILLING FOR ELECTRICAL RUNS WITH G. C.
3. VERIFY ALL LOCATIONS OF LIGHT/OUTLETS WITH OWNER/ARCHITECT PRIOR TO PULLING WIRE TO DEVICES.
4. CONTRACTORS IS RESPONSIBLE FOR SIZING AND INSTALLING ALL ELECTRICAL SERVICE ACCORDING TO LOADS OF EQUIPMENT REQUIRED AND ACCORDING TO N. E. C.
5. VERIFY FIXTURE SUBSTITUTIONS WITH ARCHITECT.
6. DUPLEX RECEPTACLES TO BE GFI WHERE REQUIRED BY CODE.
7. INSTALL WIRES IN CONDUIT WHERE REQUIRED BY CODE.
8. ALL EXISTING OUTLETS NEED TO BE GROUNDED.
9. PROVIDE LIGHT FIXTURES IN TUB/SHOWER ENCLOSURE ARE LABELED "SUITABLE FOR DAMP LOCATIONS"
10. ALL RECESSED LIGHT FIXTURES SHALL BE IC RATED OR FIXTURES NOT IDENTIFIED FOR CONTACT WITH INSULATION SHALL HAVE ALL RECESSED PARTS SPACES AT LEAST 1/2" FROM COMBUSTIBLE MATERIALS AND 3" FROM THERMAL INSULATION. RECESSED CANS SHALL ALSO BE AIR-TIGHT RATED.

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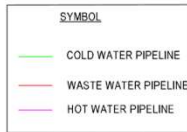
4481 Amanda Avenue, FL



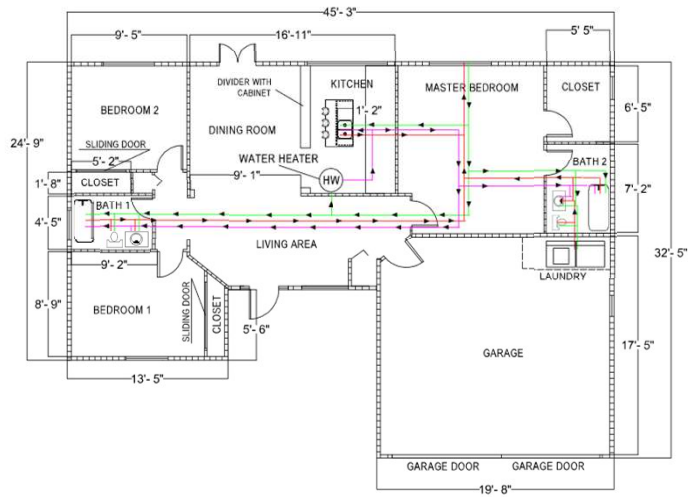
PROJECT:
 ADDRESS:
 FLORIDA, USA

Drawing Title:
ELECTRICAL PLAN

PROJECT NO.	DATE	SCALE	BY
DATE	DATE	DATE	DATE
CHECKED BY	DATE	DRAWING NO.	A105
REVISION BY	DATE	SHEET NO.	



FIXTURE ROUGH-IN SCHEDULE				
FIXTURE	HOT WATER	COLD WATER	WASTE	VENT
WATER CLOSET-FLUSH TANK (WC)	—	1/2"	4"	—
LAVATORY (LAV)	1/2"	1/2"	1-1/2"	1-1/2"
SINK (SK)	1/2"	1/2"	1-1/2"	1-1/2"
MOP SINK (MS)	1/2"	1/2"	3"	1-1/2"
DISHWASHER (DW)	3/4"	—	3"	1-1/2"
FLOOR (FD)	—	—	4"	—



PLUMBING NOTES:

1. METALLIC GAS PIPE, WATER PIPE, AND FOUNDATION REINFORCING BARS SHALL BE BOUNDED TO THE ELECTRICAL SERVICE GROUND DRYER, WATER HEATER, KITCHEN AND BATHROOM VENTING SHALL EXHAUST TO THE OUTSIDE OF THE BUILDING AND BE EQUIPPED WITH A BACK DRAFT DAMPER.
2. ALL GAS LINES SHALL BE SIZED FOR APPLIANCE LOAD.
3. *BACK*PIPE SHALL BE USED INSIDE THE BUILDING. *GREEN*PIPE WHERE UNDERGROUND OR EXPOSED TO WEATHER.
4. ALL JOINTS SHALL BE TAPED WHERE BURIED OR EXPOSED TO WETHER.
5. TUBS/SHOWERS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OF THE THERMOSTATIC MIXING TYPE.
6. THE WATER TEMPERATURE SHALL BE AT A MAXIMUM OF 120°F
7. WATER SOFTENER UNIT SHALL CONDITION WATER BEFORE ENTERING THE WATER HEATERS AND THE COLD WATER SOURCE.
8. HEAT DUCTING SHALL BE SECURED, SEALED AND INSULATED AS APPROPRIATE.
9. INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 70" ABOVE SHOWER DRAINS.

GENERAL NOTES:

- A) ALL COLD WATER PIPES SHALL THERMALLY INSULATED BY 1/2" THICK RUBBER INSULATION TO PROJECT AGAINST CONDENSATION THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY AND EXAMINE ALL EXISTING INSTALLATION AND CONDITIONS AFFECTING
- B) THE WORK UNDER THIS CONTRACTOR THAT IS RELATED TO UNIT (CRU) AS WELL AS CHECK AGAINST THIS "AS-BUILT" ALL DISCREPANCIES SHALL BE INVESTIGATED AND REPORTED BACK TO ENGINEER PRIOR PROCEEDING WITH THE MATERIALS AND WORK AT SITE FOR THE NEW TENANT INTERIOR IMPROVEMENT. HE SHALL ALLOW FOR THE COSTS OF ALL SERVICES, LABOUR, AND MATERIALS PRIOR AWARDDING THIS CONTRACT FOR ANY ADDITIONAL WORK THAT CAN BE EASILY CAPTURED BY A PROFESSIONAL CONTRACTOR DURING THE TENDER STAGE

NOTE

The wastewater pipe uses the same pipe used in the existing building, and the wastewater is collected and disposed of in the bathroom's WC and LAB.
In addition, Insta Hoters are installed in WC, LAB, and SINK, and hot water or cold water can be used depending on the user's request.

CLIENT:
Financial Manager:

4481 Amanda Avenue, FL

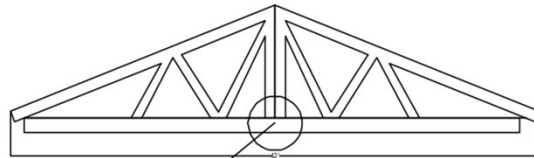


PROJECT:
ADDRESS:
FLORIDA, USA

Showing the
PLUMBING PLAN

PROJECT NO.	SCALE	DATE
DATE BY DATE	DATE	DATE
CHECKED BY DATE	DATE	DATE
REVISION BY DATE	DATE	DATE

ALL DIMENSIONS ARE IN METERS
SHEET NO. A106



Entry rafter (5/12 rafter)

DESIGN CRITERIA:

DESIGN LOADING PER FBC 2021, WIND LOADS PER ASCE 716
 ROOF LIVE LOAD=20 PSF
 ROOF DEAD LOAD=20 PSF
 BASIC ULTIMATE WIND SPEED=170 MPH
 RISK CATEGORY II BUILDING: ENCLOSED
 WIND EXPOSURE EXPOSURE B
 K=0.85
 INTERNAL PRESSURE COEFFICIENT=+/-0.18
 ULT WIND PRESSURE (Lateral Force Resisting System) +06 PSF
 ULT WIND PRESSURE (Component and Cladding) +M PSF
 IMPACT RESISTANCE ASSEMBLY YES
 TYPE OF CONSTRUCTION: CBS

- 1. WALLS BELOW ROOF SHOWN.
- 2. ROOF SLOPE.

HEADER/LINTEL SCHEDULE		
LINTEL NO.	LINTEL	NOTES
L-1	2" x 4"	
L-2	2" x 4" @ 1'-0"	
L-3	2" x 4"	
BEAM SCHEDULE		
BEAM NO.	BEAM	NOTES
BM-1	2X8 LVL	
BM-2	2X8 LVL	

This truss feature a 90-mph wind load (IBC 2018 & 2021), 165-mph design wind speed rating, a 20 PSF roof live load, and a 15 PSF ground snow load at 10-foot centers (2018 & 2021 IBC).
 We use either 1-1/2" x 1-1/2" or 2" x 2" angle for both the top and bottom chords depending on the truss span with 1-1/4" x 1-1/4" angle for webbing.

FRAMING DETAILS ACCORDING TO IBC 2021:

1. **WALL FRAMING:**
 Stud size and spacing: The IBC 2021 specifies that wall studs must be a minimum of 2 inches by 4 inches (nominal) in size, with a maximum spacing of 24 inches on center. For walls taller than 10 feet, or for walls that support a roof or floor system, the IBC 2021 requires larger studs or closer spacing to ensure adequate strength.
 Wall plates: The IBC 2021 requires horizontal wall plates to be installed at the top and bottom of the wall, which provide a surface for attaching the studs and help distribute the load of the wall to the foundation or floor system. Wall plates must be a minimum of 2 inches by 4 inches (nominal) in size and must be securely fastened to the foundation or floor system.
2. **FLOOR FRAMING:**
 Joist size and spacing: Floor joists must be a minimum of 2 inches by 6 inches (nominal) in size, with a maximum spacing of 24 inches on center. For larger spans or heavier loads, larger joists or closer spacing may be required.
 Sub-flooring: A layer of sub-flooring must be installed on top of the joists to provide a flat and level surface for the finished floor.
 Bridging: Bridging is used to provide additional support and stability to the floor system. The minimum size and spacing of bridging required, based on the size and span of the joists.
 Load-bearing walls: Floor joists be supported by load-bearing walls or other structural components, such as beams or girders. The size and spacing of these components must be designed to adequately support the weight of the floor system and any loads above it.
3. **ROOF FRAMING:**
 Rafter size and spacing: Roof rafters must be a minimum of 2 inches by 6 inches (nominal) in size, with a maximum spacing of 24 inches on center. For larger spans or heavier loads, larger rafters or closer spacing may be required.
 Ridge beam or board: A ridge beam or board must be installed at the peak of the roof to support the ends of the rafters and provide stability to the roof system. The minimum size and type of material required for the ridge beam or board, based on the size and span of the roof.
 Collar ties or ridge straps: Collar ties or ridge straps are used to connect opposing rafters and provide additional stability to the roof system. The minimum size and spacing of collar ties or the required size and type of ridge straps, based on the size and span of the roof.
 Roof sheathing: A layer of sheathing must be installed on top of the rafters to provide a base for the finished roofing material and to help distribute loads across the roof system. The minimum thickness and type of sheathing required, based on the location and type of construction.
 Roof ventilation: Adequate ventilation in the roof space to prevent moisture buildup and prolong the life of the roofing material.
4. **FIRE-RESISTANCE CONSTRUCTION:**
 Fire barriers: The use of fire barriers, such as fire walls or fire partitions, to separate different parts of a building and prevent the spread of fire. These barriers must be constructed of fire-resistant materials and must meet specific construction and testing requirements.
 Fire sprinkler systems: This building requires the installation of fire sprinkler systems in certain types of buildings, such as high-rise buildings and buildings with large assembly areas. These systems must meet specific design and installation requirements and must be tested and maintained regularly.
 Fire-resistant glazing: This building requires the use of fire-resistant glazing, such as tempered glass or wired glass, in certain parts of a building, such as windows and doors.
5. **STRUCTURAL CONNECTIONS:**
 Bolts and nuts: The size and type of bolts and nuts required for different types of connections, based on the size and load of the components being connected. This building also provides requirements for the number and spacing of bolts in a connection, as well as the minimum edge and end distances required.
 Welding: This building allows for the use of welding as a method of connecting structural components, but specifies the type and size of welds required, as well as the minimum length and size of the components being connected.
 Adhesive anchors: This building allows for the use of adhesive anchors, such as epoxy or acrylic, to connect structural components. These anchors must meet specific requirements for strength, curing time, and installation.
 Shear plates: Shear plates are used to transfer shear forces between two components.
6. **ENERGY EFFICIENCY:**
 Building envelope: The building envelope, which includes walls, roofs, and floors, be designed and constructed to minimize heat loss and gain. This may include requirements for insulation, air sealing, and high-performance windows and doors.
 HVAC systems: The heating, ventilation, and air conditioning (HVAC) systems be designed and installed to meet specific energy efficiency requirements, which may include minimum efficiency ratings for equipment, duct sealing, and proper sizing of equipment.
 Lighting: The lighting systems be designed and installed to meet specific energy efficiency requirements, which may include the use of high-efficiency lamps and fixtures, as well as controls such as occupancy sensors and daylight sensors.
 Appliances and equipment: The appliances and equipment, such as refrigerators, dishwashers, and water heaters, meet specific energy efficiency requirements. This may include minimum energy efficiency ratings and the use of ENERGY STAR certified products.

ROOF FRAMING DETAIL

1
 1/4"=1'-0"

CLIENT:

Financial Manager:

4481 Amanda Avenue, FL



Expiration Date: 02/28/2025

ADDRESS
 FLORIDA, USA

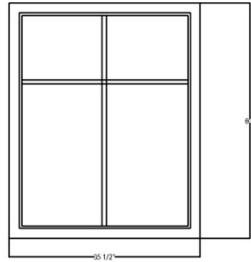
STRUCTURAL DETAILS (3)

PROJECT NO. 104-11-07
 DATE 08/2024
 DRAWN BY J. L. ADAMS, ARCH. & INTERIOR
 CHECKED BY J. L. ADAMS
 SHEET NO. A107

WINDOW SCHEDULE							
MARK	LEVEL	WINDOW TYPE	WIDTH	HEIGHT	WINDOW MATERIAL	WINDOW LOCATION	COMMENTS
1	LEVEL1	3050	35 1/2"	60"	GLASS	MOJAVE AVE	

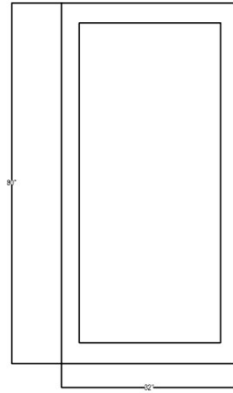
DOOR SCHEDULE							
MARK	LEVEL	WINDOW TYPE	WIDTH	HEIGHT	WINDOW MATERIAL	WINDOW LOCATION	COMMENTS
1	LEVEL1	2668	32"	80"	WOODEN	MAIN ENTRANCE	

WINDOW 3050



WINDOW LEGEND
1/4"=1'-0"

DOOR 2668



DOOR LEGEND
1/4"=1'-0"

- WINDOW AND DOOR SCHEDULE GENERAL NOTES ACCORDING TO CBC:
1. FINISH OF DOOR HARDWARE AND HINGES TO MATCH TYP.
 2. ALL WOOD DOORS TO BE FLUSH, SOLID CORE, 1 1/2" N.
 3. SAFETY GLAZING: PROVIDE TEMPERED SAFETY GLAZING AT ALL VERTICAL HUMAN IMPACT LOAD LOCATIONS AND "HAZARDOUS LOCATIONS" REQUIRED PER CBC 2906.4. COMPLY WITH AND O.P. 4 AND LABEL EACH PANE PER CBC 2906.2.
 4. TEMPERED PANES: EACH 6MM TEMPERED PANE COMPOSED OF A SINGLE THICKNESS OF TEMPERED GLASS, CLEAR OR TINTED AS INDICATED FOR APPLICATION AND LOCATION IN ASSEMBLIES.
 5. EXTERIOR GLAZING: DOUBLE GLAZED SEALED INSULATING GLASS, 24 MM ASSEMBLY COMPOSED OF 24MM PANES OF TEMPERED GLAZING PER GLAZING.
 6. DIMENSIONS SHOWN FOR DOORS ARE FINISHED DIMENSIONS UNLESS OTHERWISE INDICATED. CONTRACTOR TO CONFIRM DIMENSIONS REQUIRED AT ROUGH OPENINGS PRIOR TO ORDERING AND INSTALLING DOORS.
 7. DIMENSIONS SHOWN AT SLIDING GLASS DOORS ARE ROUGH OPENING DIMENSIONS. CONTRACTOR TO CONFIRM DIMENSIONS IN FIELD PRIOR TO ORDERING AND INSTALLING DOORS.

CLIENT:

Financial Manager:

4481 Amanda Avenue, FL

PROJECT: WINDOW AND DOOR SCHEDULE

DATE OF SHEET: 02/28/2025

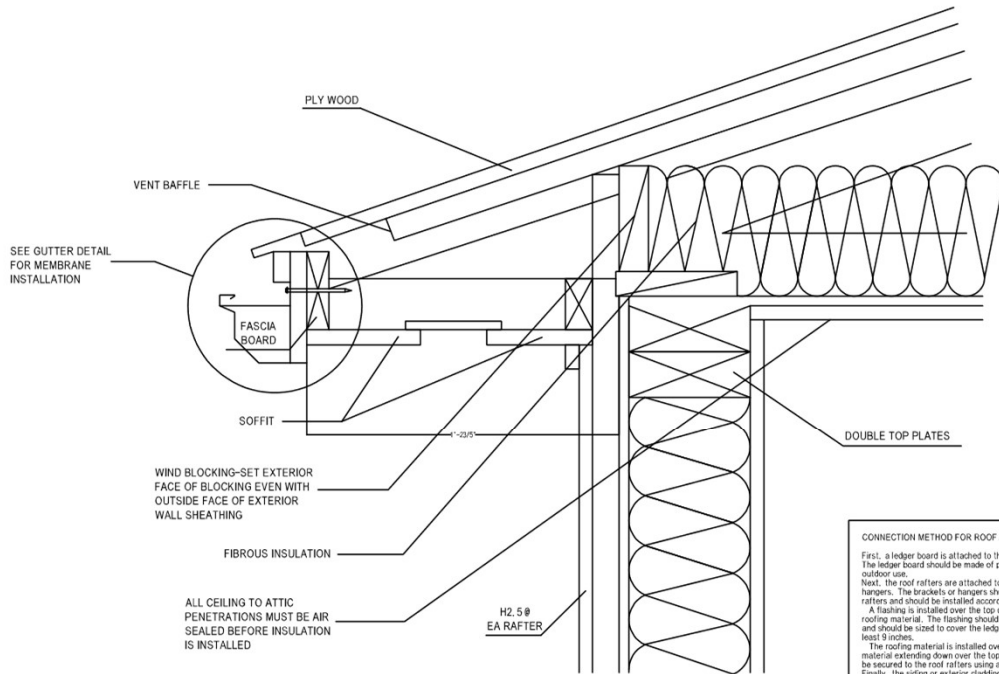
SCALE: 1/4"=1'-0"

DESIGNED BY: DAVID L. ADAMS

CHECKED BY: DAVID L. ADAMS

DATE: 02/28/2025

SHEET NO. A108



1 RAFTER TAIL & HEAD DETAIL
1/4"=1'-0"

CONNECTION METHOD FOR ROOF AND WALL

First, a ledger board is attached to the wall using lag bolts or through bolts. The ledger board should be made of pressure-treated lumber that is appropriate for outdoor use.

Next, the roof rafters are attached to the ledger board using metal brackets or hangers. The brackets or hangers should be sized to match the dimensions of the rafters and should be installed according to the manufacturer's instructions.

A flashing is installed over the top of the ledger board and extends up under the roofing material. The flashing should be made of metal, such as aluminum or steel, and should be sized to cover the ledger board and extend up the roof slope by at least 9 inches.

The roofing material is installed over the flashing, with the bottom edge of the material extending down over the top of the flashing. The roofing material should be secured to the roof rafters using appropriate fasteners, such as nails or screws.

Finally, the siding or exterior cladding is installed over the top of the ledger board and the flashing, leaving a small gap for ventilation.

CLIENT:
Financial Manager:

4481 Amanda Avenue, FL



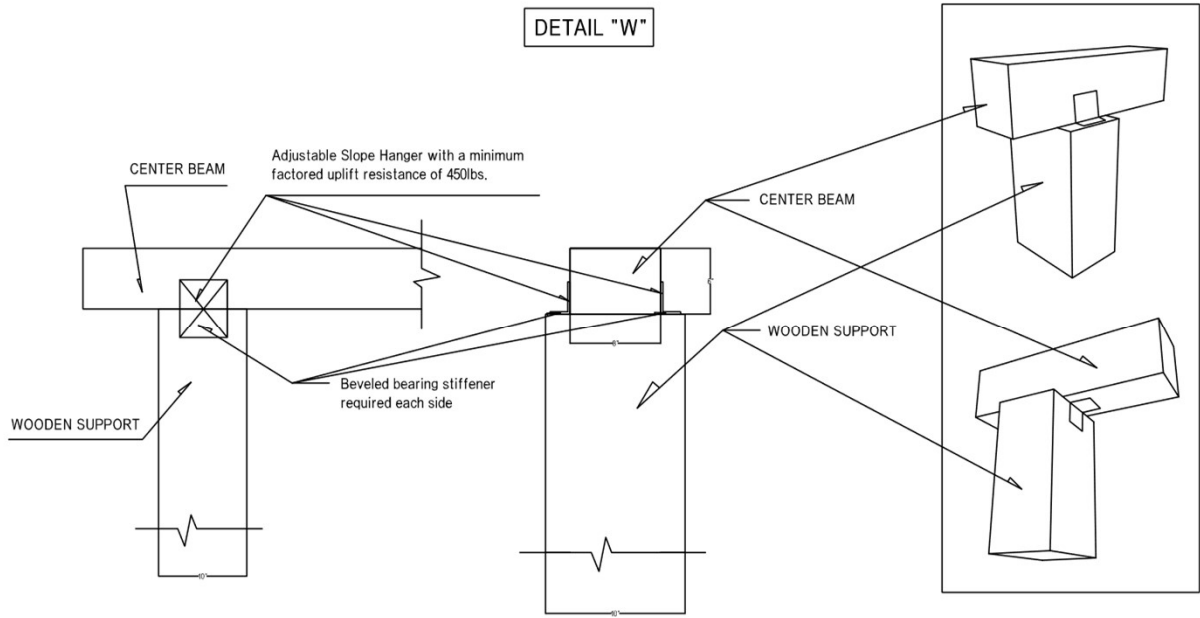
Expiration Date : 02/28/2025

PROJECT:
ADDRESS:
FLORIDA, USA

Sheet No:
STRUCTURAL DETAILS(1)

PROJECT NO.	DATE	SCALE	DATE
BY DATE	BY DATE	BY DATE	BY DATE
CHECKED BY DATE	CHECKED BY DATE	CHECKED BY DATE	CHECKED BY DATE
DESIGNED BY DATE	DESIGNED BY DATE	DESIGNED BY DATE	DESIGNED BY DATE
		Sheet No.	A109
		SHEET NO.	-

DETAIL "W"



CLIENT:
Financial Manager:

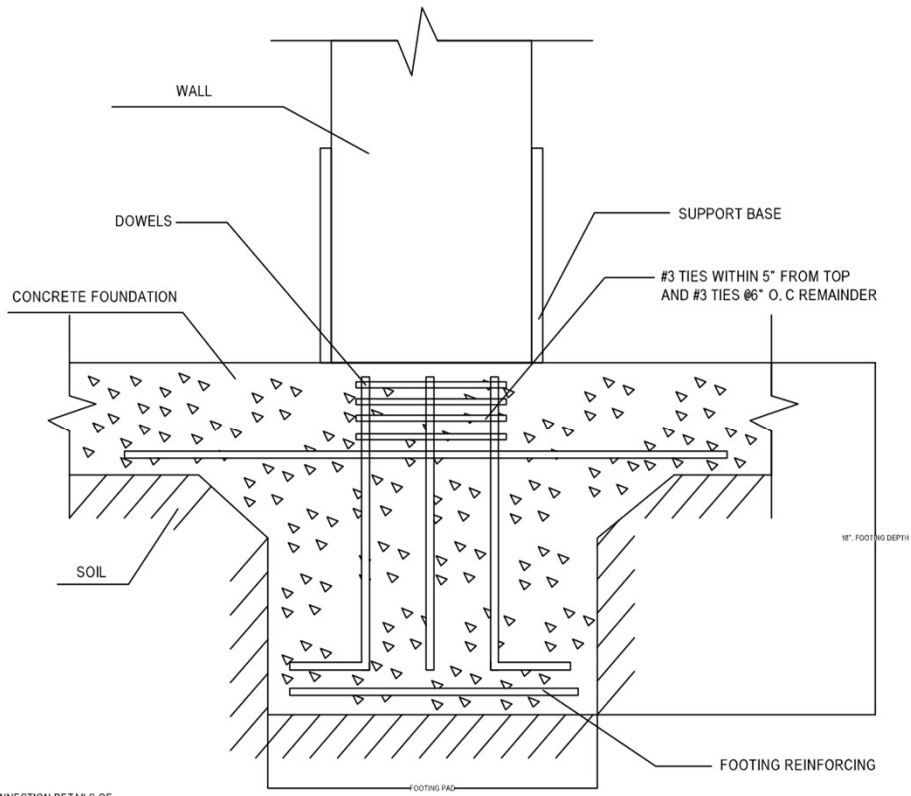
4481 Amanda Avenue, FL



PROJECT
ADDRESS
FLORIDA, USA

Drawing Title
ROOF CONNECTION DETAIL

PROJECT NO.	DATE	SCALE	DATE
001	02/28/2025	1/4" = 1'-0"	
DESIGNED BY	DATE	CHECKED BY	DATE
DAVID L. ADAMS		DAVID L. ADAMS	
PROJECT NO.	SHEET NO.	Drawing No. A110	
		-	



1 CONNECTION DETAILS OF
CONCRETE WALL AND FOOTING
1/4"=1'-0"

CLIENT:
Financial Manager:

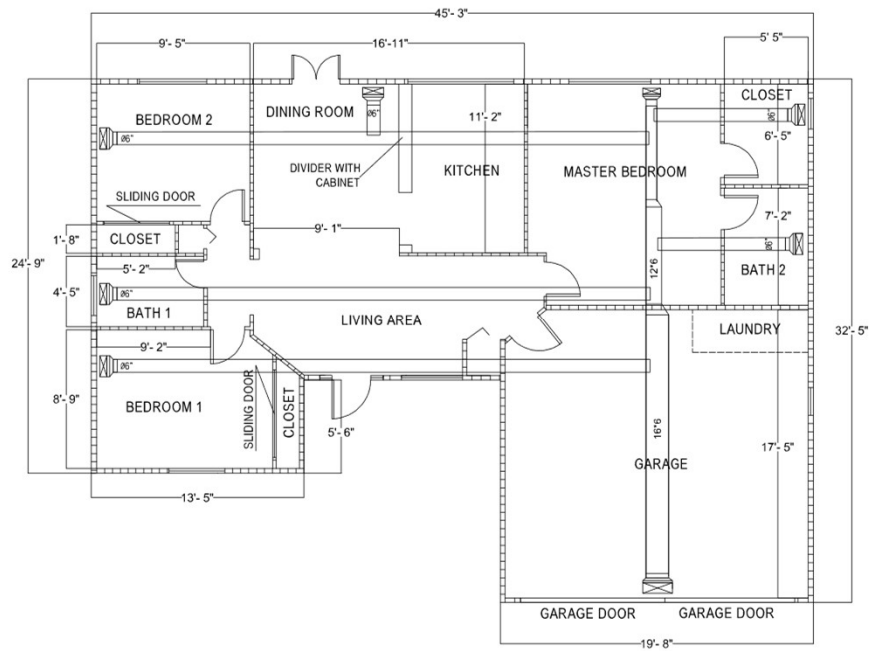
4481 Amanda Avenue, FL



PROJECT:
ADDRESS:
FLORIDA, USA

Drawing Title:
STRUCTURAL DETAILS (2)

PROJECT NO.	DATE	SCALE	DATE
		1/4"=1'-0"	
DESIGNED BY	CHECKED BY	DATE	DATE
PROJECT NO.	SHEET NO.	A111	
		-	



CLIENT:

Financial Manager:

4481 Amanda Avenue, FL



Expiration Date : 02/28/2025

PROJECT

ADDRESS
FLORIDA, USA

Drawing Title

HVAC SYSTEM PLAN

PROJECT NO.	DATE	BY	SCALE
	02/28/2025	DA	1/4" = 1'-0"
CHECKED BY	DATE	PROJECT NO.	
		4481 AMANDA AVE. FL	
REVISED BY	DATE	SHEET NO.	
		A113	

DR-506 R. 04/16
Rule 12D-16.002
Florida Administrative Code
Eff. 04/16

Tax deed file number: 2023 TD 000600

Parcel ID number: 0953151621

TAX DEED

SARASOTA County, Florida

RECORDED IN OFFICIAL RECORDS
INSTRUMENT # 2024003364 - 1 PG(S)
January 09, 2024 04:42:07 PM
KAREN E. RUSHING
CLERK OF THE CIRCUIT COURT
SARASOTA COUNTY, FL

Doc Stamp-Deed: \$70.70



For official use only

Tax Certificate numbered 3816.0000 issued on **06/01/2020**, was filed in the office of the tax collector of Sarasota County, Florida. An application has been made for the issuance of a tax deed. The applicant has paid or redeemed all other taxes or tax certificates on the land as required by law. The notice of sale, including the cost and expenses of this sale, has been published as required by law. No person entitled to do so has appeared to redeem the land. On the 9th day of January, 2024 the land was offered for sale. It was sold to **WAYNE TAYLOR**, address **2130 EVERGLADES BLVD N NAPLES, FL 34120**, who was the highest bidder and has paid the sum of the bid as required by law.

The lands described below, including any inherited property, buildings, fixtures, and improvements of any kind and description, situated in this County and State.

Description of lands:

LOT 21 BLK 1516 30TH ADD TO PORT CHARLOTTE

On **9th day of January, 2024**, in Sarasota County, Florida, for the sum of (\$10,100.00) Ten Thousand One Hundred Dollars Dollars, the amount paid as required by law.

Witness
Erinley May
Cecilia Egerton

KAREN E. RUSHING,
Clerk of the Circuit Court and County
Comptroller,
SARASOTA COUNTY, FLORIDA

By: *Michele Moncure*
Michele Moncure, Deputy Clerk



SARASOTA County, Florida

On this 9th day of January, 2024, before me personally appeared Michele Moncure, Deputy Clerk of the Circuit Court or County Comptroller in and for the State and this County known to me to be the person described in, and who executed the foregoing instrument, and acknowledged the execution of this instrument to be his own free act and deed for the use and purposes therein mentioned.

Witness my hand and official seal on the date aforesaid.

Laura X Bricker
Deputy Clerk

